

PROPOSED SITE PLAN
Scale 1:500

— Blue line — Extent of landowners property
— Red line — Extent of development site

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DATE	REVISION
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GENERAL NOTES

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DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.

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STANDARD INSTRUCTIONS

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PROJECT: FETHARD BALLROOM REFURBISHMENT
for FETHARD & KILLUSTY COMMUNITY
BALLROOM COMPANY LTD.

DRAWING: SITE LAYOUT

SCALE: 1/250

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)01

STATUS: TENDER DRAWING

Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.
Total area of Lean to Roof: 124m²

Flat Roof
 Remove existing felt and apply new single ply membrane roof covering in select grey colour to match main roof to be applied to existing flat rooves as indicated in accordance with manufacturers recommendations & specifications. Install 2xlayers of Rockwool OSEA insulation batts at ceiling level also

New external aluminium half round Gutter to new metal roof
Total Linear metre of gutter: 25.3m

New external aluminium half round Gutter to new metal roof
Total Linear metre of gutter: 30.5m
 Gutter sized to be increased as currently not meeting capacity.

New external aluminium half round Gutter to new metal roof
Total Linear metre of gutter: 5.7m

Additional timber ceiling joists will need to be installed in the ceiling near the front of the building in order to strengthen this ceiling structure.

Additional timber ceiling joists and timber purlins will need to be installed in the ceiling over the stage area.

Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.
Total area of Main Building Roof: 442m²

Flat Roof
 Remove existing felt and apply new single ply membrane roof covering in select grey colour to match main roof to be applied to existing flat rooves as indicated in accordance with manufacturers recommendations & specifications

New external Gutter to new metal roof
Total Linear metre of gutter: 30.5m
 Gutter sized to be increased as currently not meeting capacity.

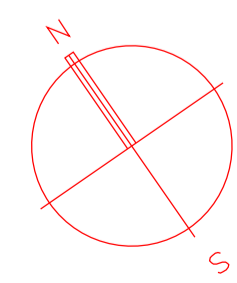
30545

New flat roof coverings to existing roof

New external Gutter to existing flat roof recovered
Total Linear metre of gutter: 28.2m

ROOF CONSTRUCTION:

- Once a suitable scaffolding and temporary roof system has been installed, a safe working platform should be established and the existing roof sheeting removed by specialist Asbestos contractor.
- Within the attic spaces, the dust, debris and insulation should be removed from the ceiling spaces.
 - An inspection of the internal roof trusses can then be carried out to ascertain the condition of individual timber elements and fixings.
 - The existing timber ceiling joists and purlins, where exposed to water and / or built into the external walls, will most likely need preservative treatment. Additional timber purlins / joists will need to be installed beside any purlins / joists which have deteriorated.
 - Additional timber ceiling joists will need to be installed in the ceiling near the front of the building in order to strengthen this ceiling structure.
 - Additional timber ceiling joists and timber purlins will need to be installed in the ceiling over the stage area.
 - On inspection of the roof trusses, any damaged internal chords, rafter pieces or bottom chords will need to be suitably treated and new suitable timber pieces face-fixed to them to strengthen them. Any fixings should be via pre-drilled holes and suitable screw fixings so as to prevent splitting of existing timber elements.
 - The ends of the timber trusses should be inspected and any damaged / deteriorated timber elements should be suitably treated / spliced.
 - On completion of the remedial works to the timber elements, a suitable breathable roof membrane should be installed and a new roof finish (to architects specification) applied. Insulation at ceiling or roof level should also be considered to improve the thermal efficiency of the building.



ROOF PLAN
 Scale 1:50

- NEW MEMBRANE COVERING TO EXISTING FLAT ROOF
- NEW METAL INSULATED PANEL PITCHED ROOF
- EXTENT OF ROOF TO BE REPLACED
- EXTENT OF NEW GUTTERS
- EXTENT OF STRUCTURAL WORK TO EXISTING ROOF STRUCTURE

WORKS TO BE PRICED AS PART OF THIS TENDER

WORKS NOT TO FORM PART OF THIS TENDER

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PROJECT: FETHARD BALLROOM REFURBISHMENT
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 BALLROOM COMPANY LTD.

DRAWING: SITE LAYOUT

SCALE: 1/50

DRAWN: MB

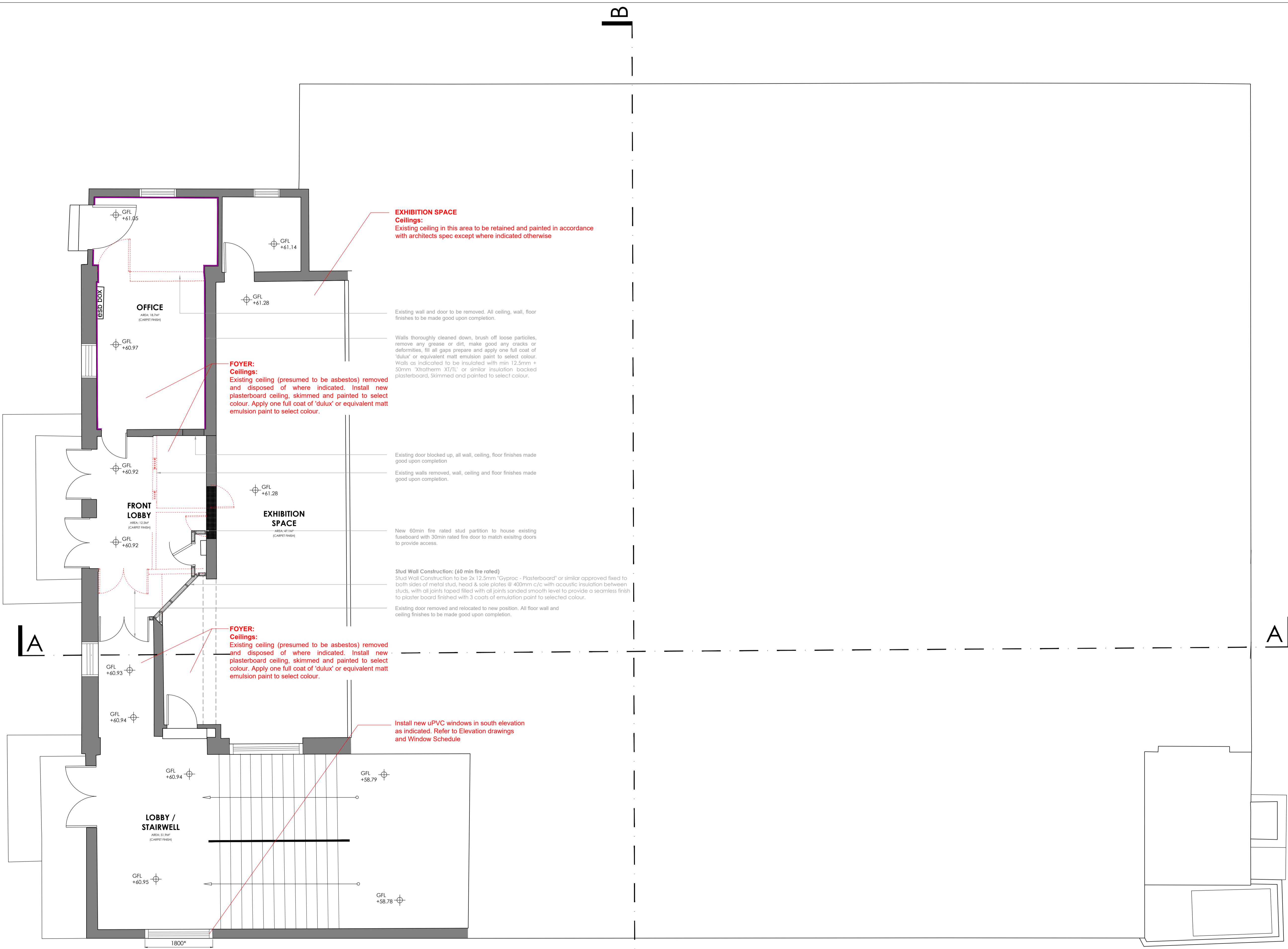
CHECKED: KH

DATE: 01/07/2019

FIRST ISSUE: 05/07/2019

DRAWING NUMBER:
1817(TD)02

STATUS: TENDER DRAWING



GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN
Scale 1:50

- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION
- NEW CARPET FINISH
- EXISTING CEILING TO BE PAINTED
- NEW PLASTERBOARD CEILING, SKIMMED AND PAINTED

- WORKS TO BE PRICED AS PART OF THIS TENDER
- WORKS NOT TO FORM PART OF THIS TENDER

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PROJECT: FETHARD BALLROOM REFURBISHMENT for FETHARD & KILLUSTY COMMUNITY BALLROOM COMPANY LTD.

DRAWING: GROUND FLOOR PLAN -

SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

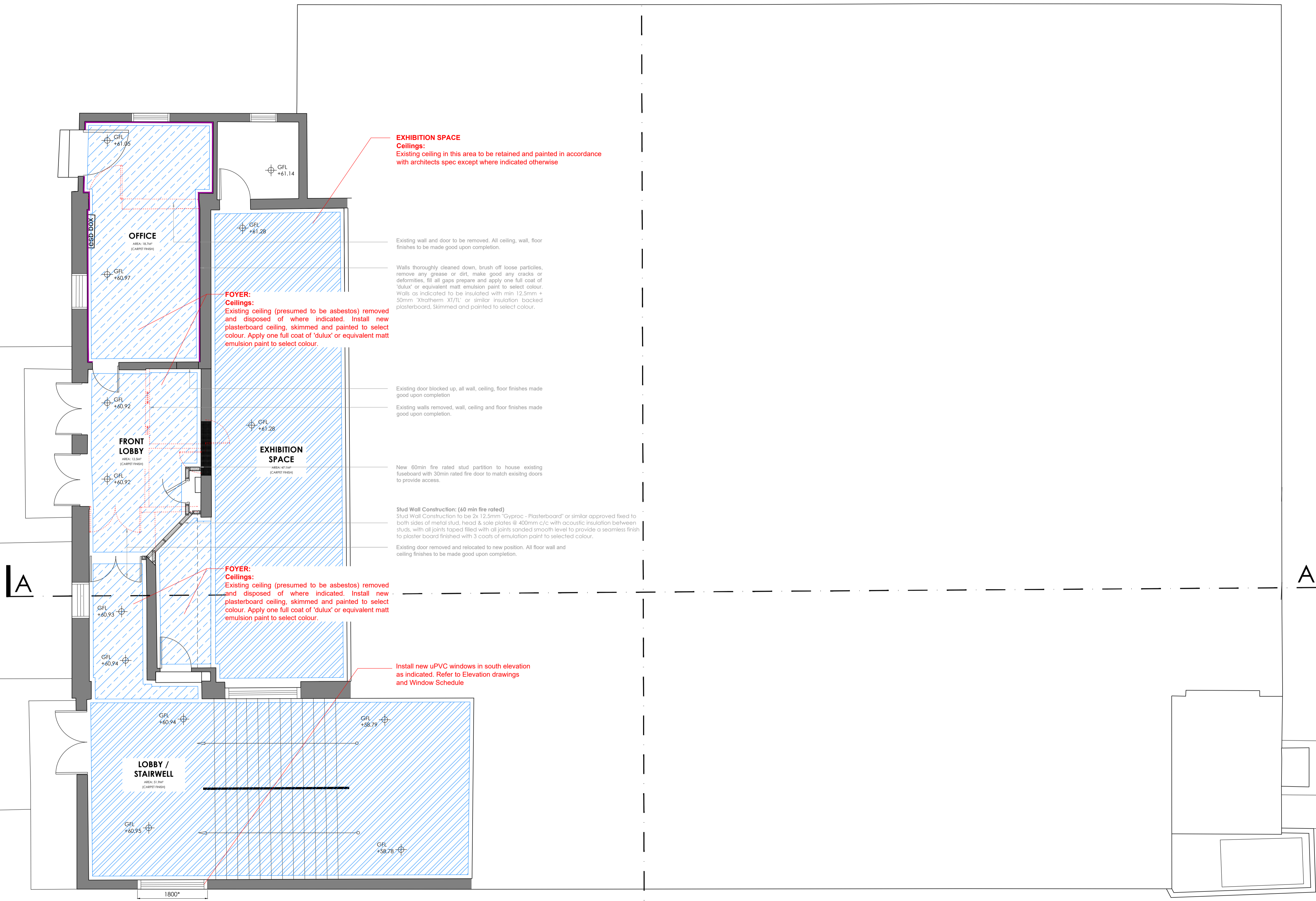
DRAWING NUMBER:
1817(TD)03

STATUS: TENDER DRAWING

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EXHIBITION SPACE
Ceilings:
 Existing ceiling in this area to be retained and painted in accordance with architects spec except where indicated otherwise

FOYER:
Ceilings:
 Existing ceiling (presumed to be asbestos) removed and disposed of where indicated. Install new plasterboard ceiling, skimmed and painted to select colour. Apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

FOYER:
Ceilings:
 Existing ceiling (presumed to be asbestos) removed and disposed of where indicated. Install new plasterboard ceiling, skimmed and painted to select colour. Apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

Install new uPVC windows in south elevation as indicated. Refer to Elevation drawings and Window Schedule

Existing wall and door to be removed. All ceiling, wall, floor finishes to be made good upon completion.

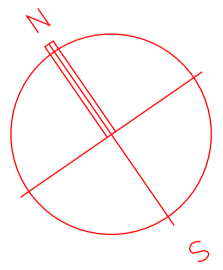
Walls thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour. Walls as indicated to be insulated with min 12.5mm + 50mm 'Xtratherm XT/L' or similar insulation backed plasterboard. Skimmed and painted to select colour.

Existing door blocked up, all wall, ceiling, floor finishes made good upon completion
 Existing walls removed, wall, ceiling and floor finishes made good upon completion.

New 60min fire rated stud partition to house existing fuseboard with 30min rated fire door to match existing doors to provide access.

Stud Wall Construction: (60 min fire rated)
 Stud Wall Construction to be 2x 12.5mm 'Gyproc - Plasterboard' or similar approved fixed to both sides of metal stud, head & sole plates @ 400mm c/c with acoustic insulation between studs, with all joints taped filled with all joints sanded smooth level to provide a seamless finish to plaster board finished with 3 coats of emulsion paint to selected colour.

Existing door removed and relocated to new position. All floor wall and ceiling finishes to be made good upon completion.



GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN
 Scale 1:50

EXISTING WALL CONSTRUCTION	EXISTING CEILING TO BE PAINTED
NEW WALL CONSTRUCTION	NEW PLASTERBOARD CEILING, SKIMMED AND PAINTED
NEW CARPET FINISH	
WORKS TO BE PRICED AS PART OF THIS TENDER	WORKS NOT TO FORM PART OF THIS TENDER

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PROJECT: FETHARD BALLROOM REFURBISHMENT for FETHARD & KILLUSTY COMMUNITY BALLROOM COMPANY LTD.

DRAWING: GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN

SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)04

STATUS: TENDER DRAWING

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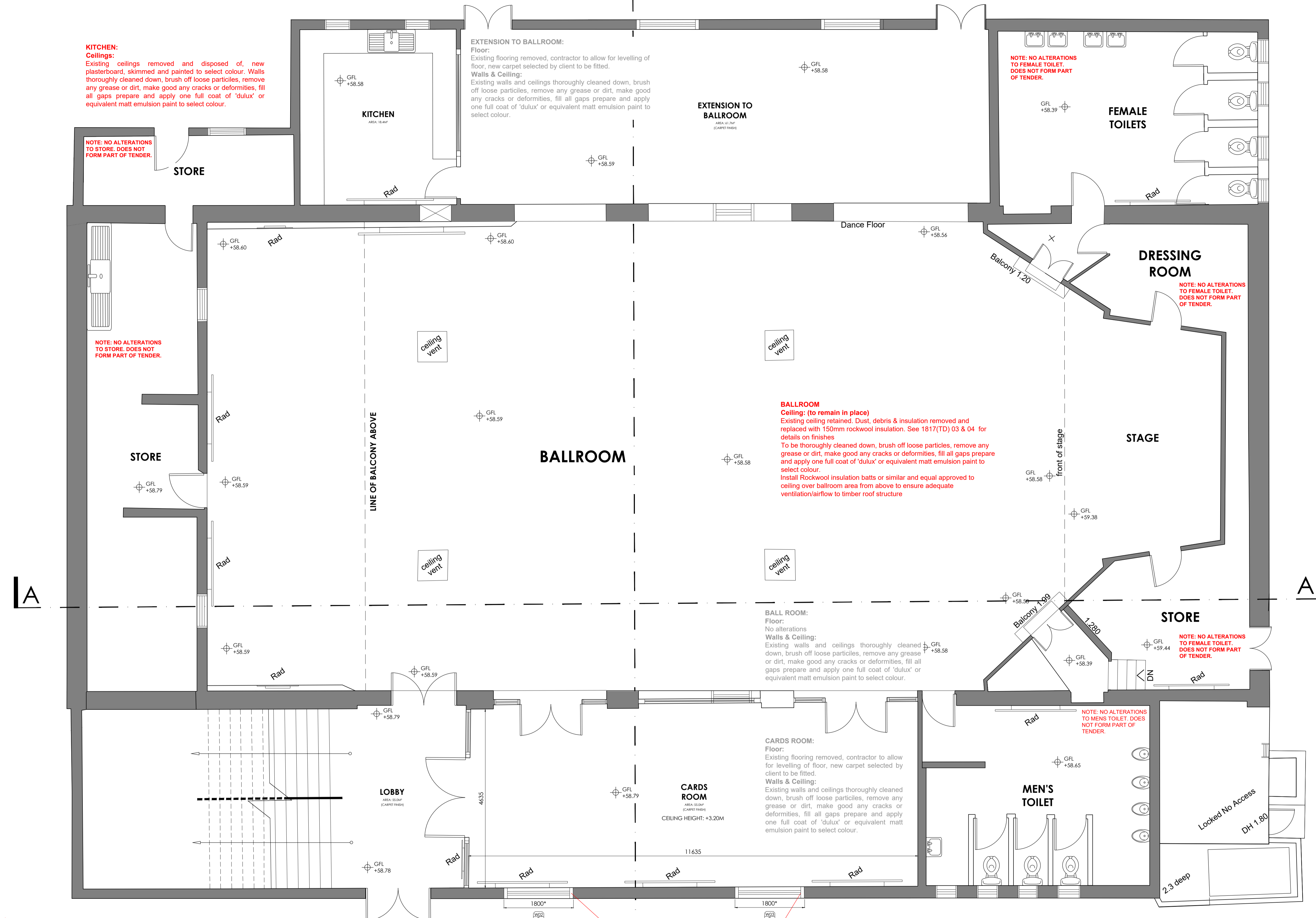
DRAWING: LOWER GROUND FLOOR PLAN

SCALE: 1/50

DRAWN: MB	CHECKED: KH
DATE: 01/07/2019	FIRST ISSUE: 05/07/2019

DRAWING NUMBER: 1817(TD)05

STATUS: TENDER DRAWING



KITCHEN:
Ceilings:
Existing ceilings removed and disposed of, new plasterboard, skimmed and painted to select colour. Walls thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

EXTENSION TO BALLROOM:
Floor:
Existing flooring removed, contractor to allow for levelling of floor, new carpet selected by client to be fitted.
Walls & Ceiling:
Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

NOTE: NO ALTERATIONS TO FEMALE TOILET. DOES NOT FORM PART OF TENDER.

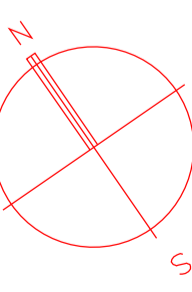
BALLROOM
Ceiling: (to remain in place)
Existing ceiling retained. Dust, debris & insulation removed and replaced with 150mm rockwool insulation. See 1817(TD) 03 & 04 for details on finishes
To be thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.
Install Rockwool insulation batts or similar and equal approved to ceiling over ballroom area from above to ensure adequate ventilation/airflow to timber roof structure

BALL ROOM:
Floor:
No alterations
Walls & Ceiling:
Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.








CARDS ROOM:
Floor:
Existing flooring removed, contractor to allow for levelling of floor, new carpet selected by client to be fitted.
Walls & Ceiling:
Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

NOTE: NO ALTERATIONS TO MENS TOILET. DOES NOT FORM PART OF TENDER.

Install new uPVC windows in south elevation as indicated. Refer to Elevation drawings and Window Schedule



LOWER GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN
Scale 1:50

	EXISTING WALL CONSTRUCTION		EXISTING CEILING TO BE PAINTED
	NEW WALL CONSTRUCTION		NEW CEILING, SKIMMED AND PAINTED
	NEW CARPET FINISH		WORKS TO BE PRICED AS PART OF THIS TENDER
	WORKS NOT TO FORM PART OF THIS TENDER		

KITCHEN:
Ceilings:
 Existing ceilings removed and disposed of, new plasterboard, skimmed and painted to select colour. Walls thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

EXTENSION TO BALLROOM:
Floor:
 Existing flooring removed, contractor to allow for levelling of floor, new carpet selected by client to be fitted.
Walls & Ceiling:
 Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

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NOTE: NO ALTERATIONS TO MENS TOILET. DOES NOT FORM PART OF TENDER.

BALLROOM:
Ceiling: (to remain in place)
 Existing ceiling retained. Dust, debris & insulation removed and replaced with 150mm rockwool insulation. See 1817(TD) 03 & 04 for details on finishes
 To be thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.
 Install Rockwool insulation batts or similar and equal approved to ceiling over ballroom area from above to ensure adequate ventilation/airflow to timber roof structure

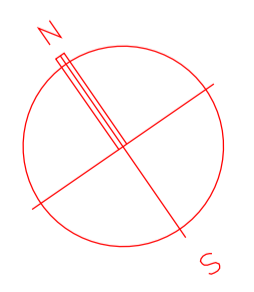
BALL ROOM:
Floor:
 No alterations
Walls & Ceiling:
 Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

CARDS ROOM:
Floor:
 Existing flooring removed, contractor to allow for levelling of floor, new carpet selected by client to be fitted.
Walls & Ceiling:
 Existing walls and ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

NOTE: NO ALTERATIONS TO STORE. DOES NOT FORM PART OF TENDER.

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LOWER GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN
 Scale 1:50



Install new uPVC windows in south elevation as indicated. Refer to Elevation drawings and Window Schedule

- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION
- NEW CARPET FINISH
- EXISTING CEILING TO BE PAINTED
- NEW CEILING, SKIMMED AND PAINTED
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 Anglesea House, Anglesea Street
 Clonmel, Co. Tipperary

PROJECT: FETHARD BALLROOM REFURBISHMENT for FETHARD & KILLUSTY COMMUNITY BALLROOM COMPANY LTD.

DRAWING: LOWER GROUND FLOOR PLAN - REFLECTIVE CEILING PLAN

SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)06

STATUS: TENDER DRAWING

ROOF:

Ceilings: (to remain in place)

Existing ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

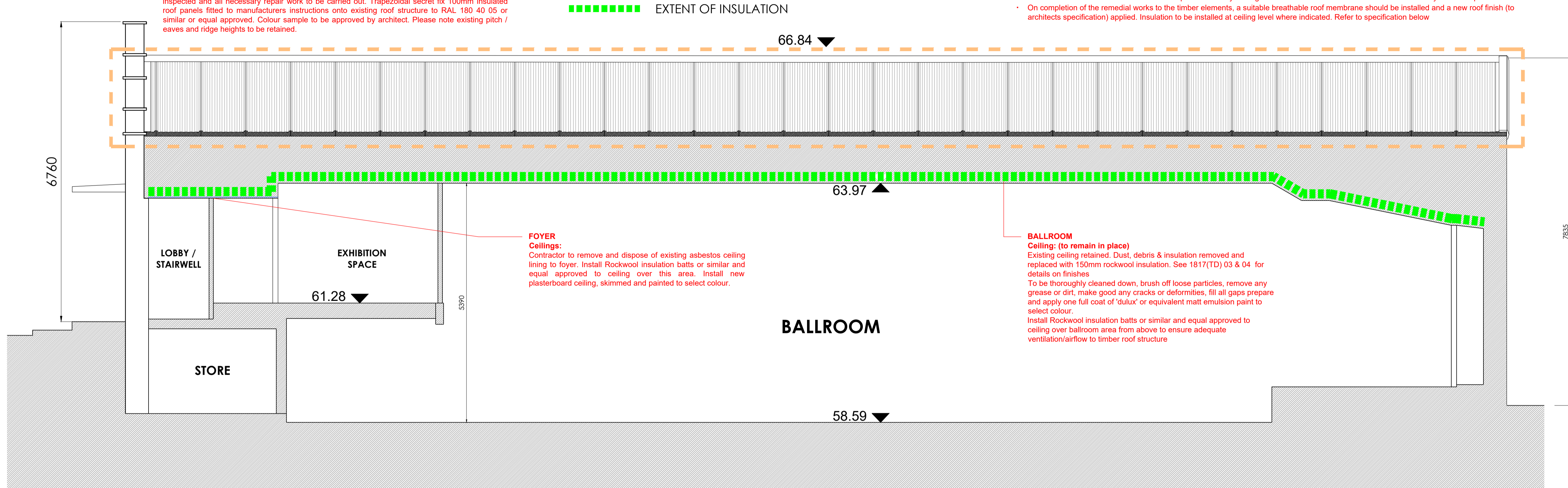
Roof Construction:

Existing roof covering (presumed to be asbestos) to be removed by trained contractor. roof structure inspected and all necessary repair work to be carried out. Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.

ROOF CONSTRUCTION:

Once a suitable scaffolding and temporary roof system has been installed, a safe working platform should be established and the existing roof sheeting removed by specialist Asbestos contractor.

- Within the attic spaces, the dust, debris and insulation should be removed from the ceiling spaces.
- An inspection of the internal roof trusses can then be carried out to ascertain the condition of individual timber elements and fixings.
- The existing timber ceiling joists and purlins, where exposed to water and / or built into the external walls, will most likely need preservative treatment. Additional timber purlins / joists will need to be installed beside any purlins / joists which have deteriorated.
- Additional timber ceiling joists will need to be installed in the ceiling near the front of the building in order to strengthen this ceiling structure.
- Additional timber ceiling joists and timber purlins will need to be installed in the ceiling over the stage area.
- On inspection of the roof trusses, any damaged internal chords, rafter pieces or bottom chords will need to be suitably treated and new suitable timber pieces face-fixed to them to strengthen them. Any fixings should be via pre-drilled holes and suitable screw fixings so as to prevent splitting of existing timber elements.
- The ends of the timber trusses should be inspected and any damaged / deteriorated timber elements should be suitably treated / spliced.
- On completion of the remedial works to the timber elements, a suitable breathable roof membrane should be installed and a new roof finish (to architects specification) applied. Insulation to be installed at ceiling level where indicated. Refer to specification below



SECTION A - A
Scale 1:50

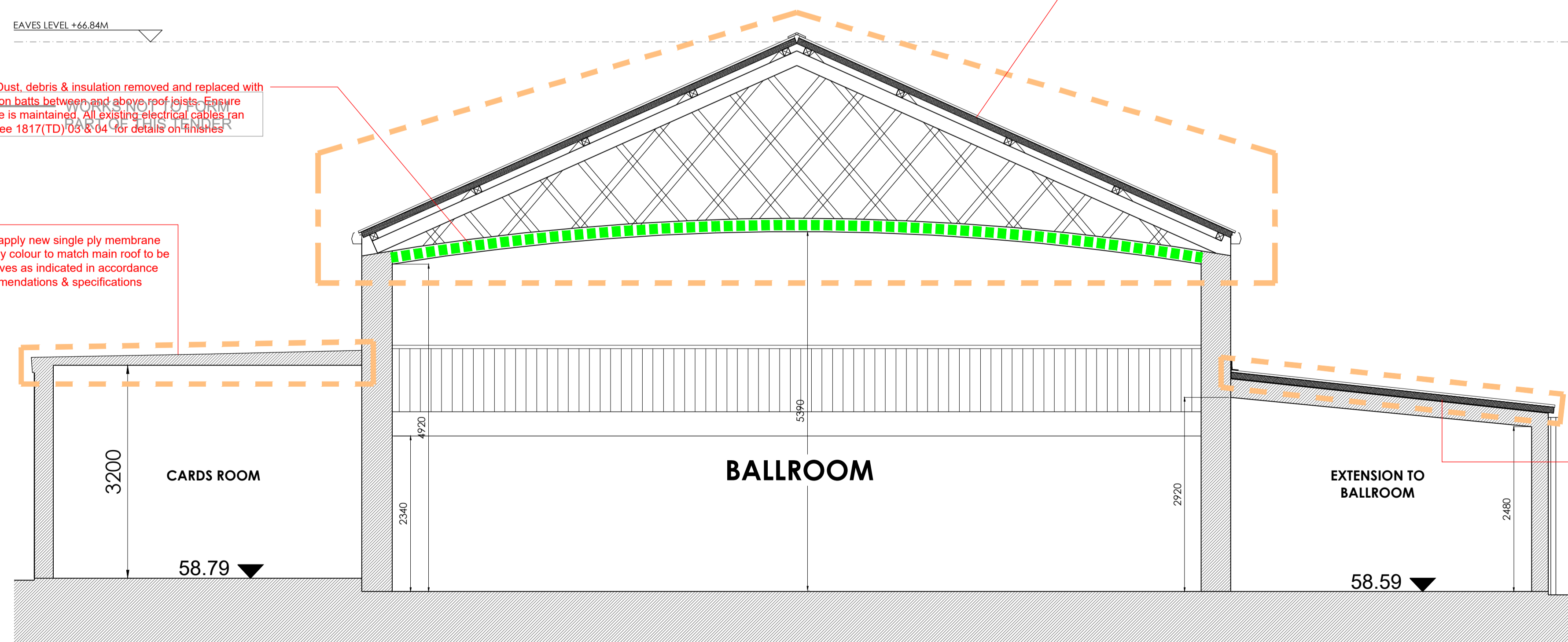
■■■■■■■■■■ EXTENT OF INSULATION

----- EXTENT OF ROOF / ROOF FINISH TO BE REPLACED

EAVES LEVEL +66.84M

Existing ceiling retained. Dust, debris & insulation removed and replaced with 150mm rockwool insulation batts between and above roof joists. Repair any damage to roof structure is maintained. All existing electrical cables run through new cable tray. (See 1817(TD) 03 & 04 for details on finishes)

Flat Roof
Remove existing felt and apply new single ply membrane roof covering in select grey colour to match main roof to be applied to existing flat rooves as indicated in accordance with manufacturers recommendations & specifications



SECTION B - B
Scale 1:50

----- EXTENT OF ROOF / ROOF FINISH TO BE REPLACED

Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.
Total area of Main building Roof: 442m²

ROOF CONSTRUCTION:

Once a suitable scaffolding and temporary roof system has been installed, a safe working platform should be established and the existing roof sheeting removed by specialist Asbestos contractor.

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- On completion of the remedial works to the timber elements, a suitable breathable roof membrane should be installed and a new roof finish (to architects specification) applied. Insulation at ceiling or roof level should also be considered to improve the thermal efficiency of the building.

Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.
Total area of Lean to Roof: 124m²

ROOF:

Ceilings: (to remain in place)

Existing ceilings thoroughly cleaned down, brush off loose particles, remove any grease or dirt, make good any cracks or deformities, fill all gaps prepare and apply one full coat of 'dulux' or equivalent matt emulsion paint to select colour.

Roof Construction:

Existing pitched roof covering (presumed to be asbestos) to be removed by trained contractor. roof structure inspected and all necessary repair work to be carried out. Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.

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DATE	REVISION
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GENERAL NOTES

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PROJECT: FETHARD BALLROOM REFURBISHMENT
for FETHARD & KILLUSTY COMMUNITY
BALLROOM COMPANY LTD.

DRAWING: SECTIONS

SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)07

STATUS: TENDER DRAWING

ROOF CONSTRUCTION:

- Once a suitable scaffolding and temporary roof system has been installed, a safe working platform should be established and the existing roof sheeting removed by specialist Asbestos contractor.
- Within the attic spaces, the dust, debris and insulation should be removed from the ceiling spaces.
- An inspection of the internal roof trusses can then be carried out to ascertain the condition of individual timber elements and fixings.
- The existing timber ceiling joists and purlins, where exposed to water and / or built into the external walls, will most likely need preservative treatment. Additional timber purlins / joists will need to be installed beside any purlins / joists which have deteriorated.
- Additional timber ceiling joists will need to be installed in the ceiling near the front of the building in order to strengthen this ceiling structure.
- Additional timber ceiling joists and timber purlins will need to be installed in the ceiling over the stage area.
- On inspection of the roof trusses, any damaged internal chords, rafter pieces or bottom chords will need to be suitably treated and new suitable timber pieces face-fixed to them to strengthen them. Any fixings should be via pre-drilled holes and suitable screw fixings so as to prevent spilling of existing timber elements.
- The ends of the timber trusses should be inspected and any damaged / deteriorated timber elements should be suitably treated / spliced.
- On completion of the remedial works to the timber elements, a suitable breathable roof membrane should be installed and a new roof finish (to architects specification) applied. Insulation at ceiling or roof level should also be considered to improve the thermal efficiency of the building.

ROOF:

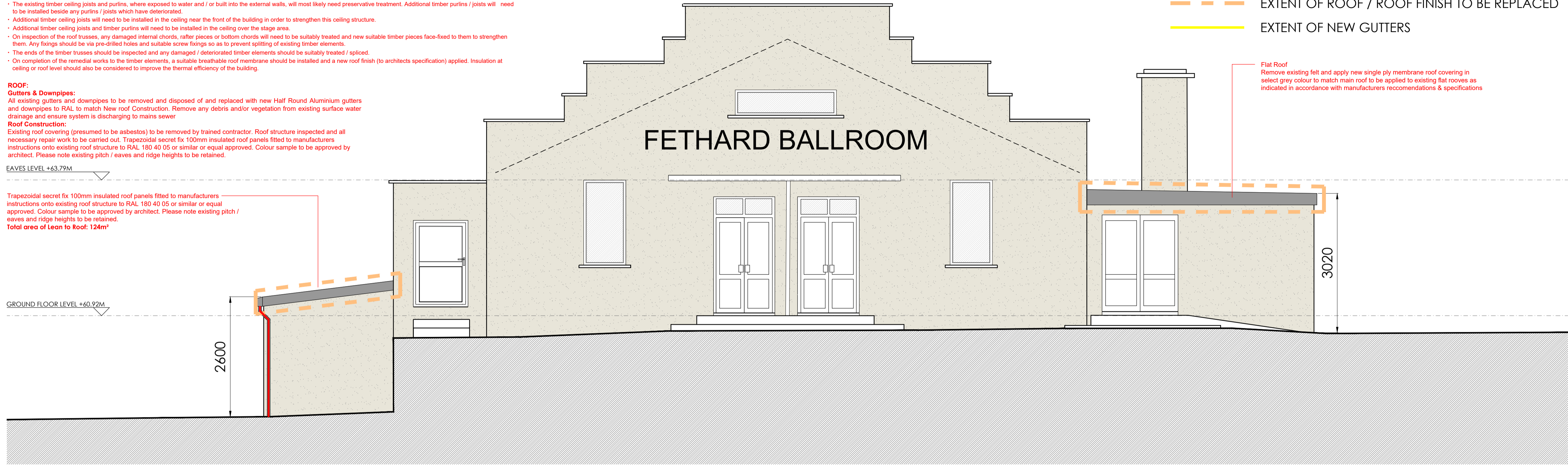
- Gutters & Downpipes:** All existing gutters and downpipes to be removed and disposed of and replaced with new Half Round Aluminium gutters and downpipes to RAL to match New roof Construction. Remove any debris and/or vegetation from existing surface water drainage and ensure system is discharging to mains sewer

- Roof Construction:** Existing roof covering (presumed to be asbestos) to be removed by trained contractor. Roof structure inspected and all necessary repair work to be carried out. Trapezoidal secret fix 100mm insulated roof panels fitted to manufacturers instructions onto existing roof structure to RAL 180 40 05 or similar or equal approved. Colour sample to be approved by architect. Please note existing pitch / eaves and ridge heights to be retained.

EAVES LEVEL +63.79M

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Total area of Lean to Roof: 124m²

GROUND FLOOR LEVEL +60.92M



WEST ELEVATION - FRONT
Scale 1:50

ROOF CONSTRUCTION:

- Once a suitable scaffolding and temporary roof system has been installed, a safe working platform should be established and the existing roof sheeting removed by specialist Asbestos contractor.
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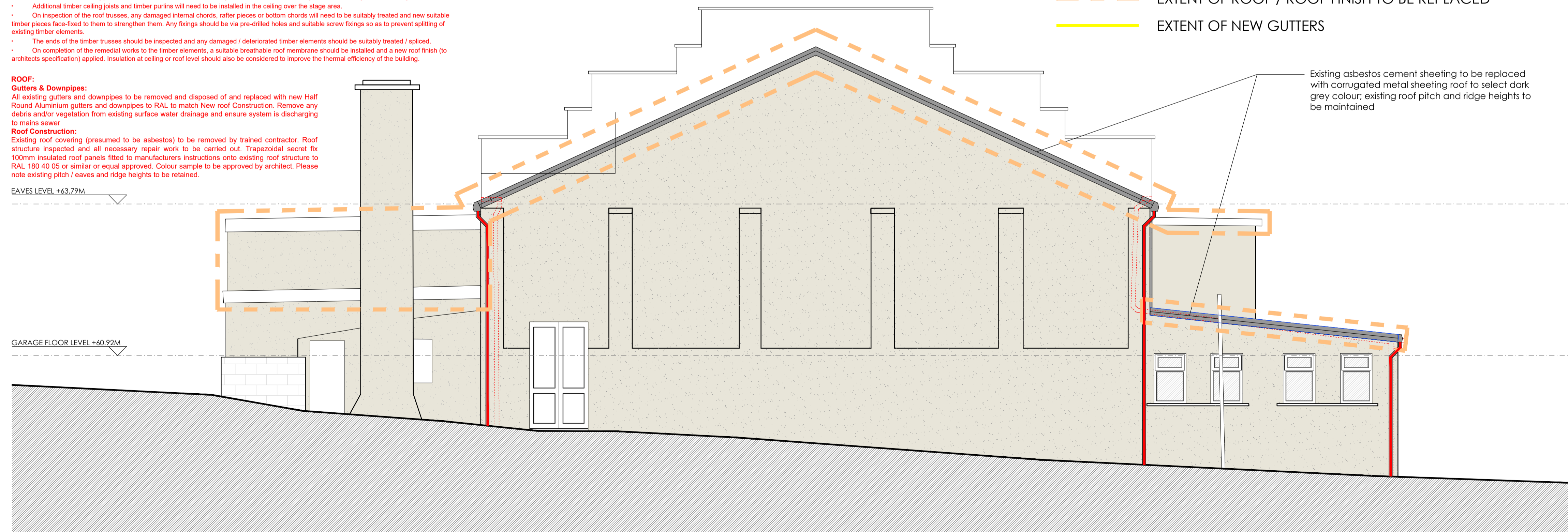
ROOF:

- Gutters & Downpipes:** All existing gutters and downpipes to be removed and disposed of and replaced with new Half Round Aluminium gutters and downpipes to RAL to match New roof Construction. Remove any debris and/or vegetation from existing surface water drainage and ensure system is discharging to mains sewer

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EAVES LEVEL +63.79M

GARAGE FLOOR LEVEL +60.92M



EAST ELEVATION - FRONT
Scale 1:50

- EXTENT OF DOWNPIPES
- - - EXTENT OF ROOF / ROOF FINISH TO BE REPLACED
- EXTENT OF NEW GUTTERS

- EXTENT OF DOWNPIPES
- - - EXTENT OF ROOF / ROOF FINISH TO BE REPLACED
- EXTENT OF NEW GUTTERS

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PROJECT: FETHARD BALLROOM REFURBISHMENT
for FETHARD & KILLUSTY COMMUNITY
BALLROOM COMPANY LTD.

DRAWING: ELEVATIONS

SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)08

STATUS: TENDER DRAWING

- EXTENT OF DOWNPIPES
- - - EXTENT OF ROOF / ROOF FINISH TO BE REPLACED
- EXTENT OF NEW GUTTERS

ROOF:

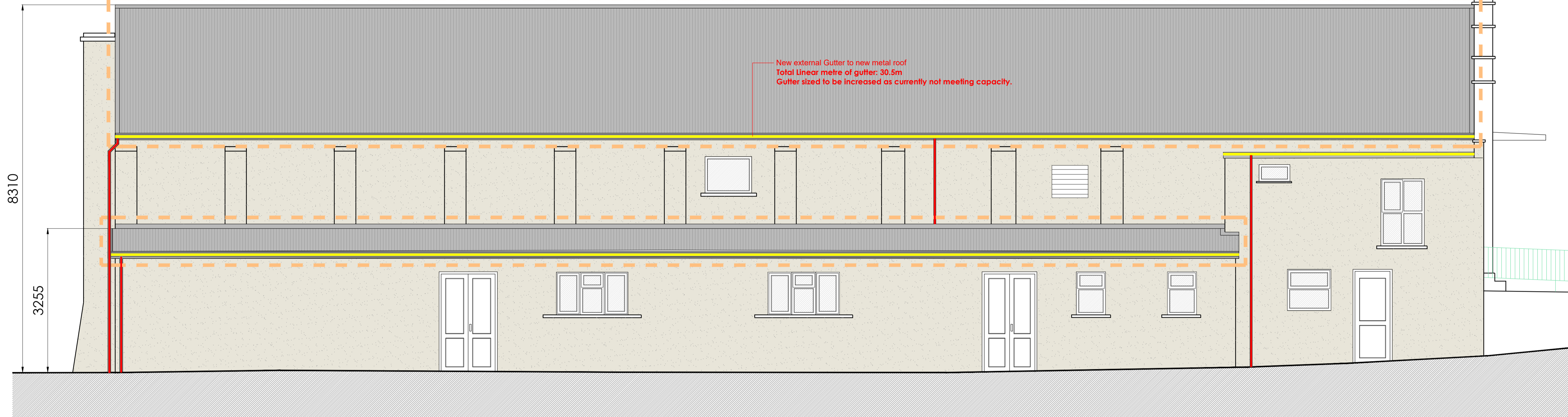
Gutters & Downpipes:
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Roof Construction:

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- On completion of the remedial works to the timber elements, a suitable breathable roof membrane should be installed and a new roof finish (to architects specification) applied. Insulation at ceiling or roof level should also be considered to improve the thermal efficiency of the building.



NORTH ELEVATION - SIDE
Scale 1:50

- - - EXTENT OF NEW WINDOWS - REFER TO SCHEDULE
- EXTENT OF DOWNPIPES
- - - EXTENT OF ROOF/ROOF FINISH TO BE REPLACED
- EXTENT OF NEW GUTTERS

ROOF:

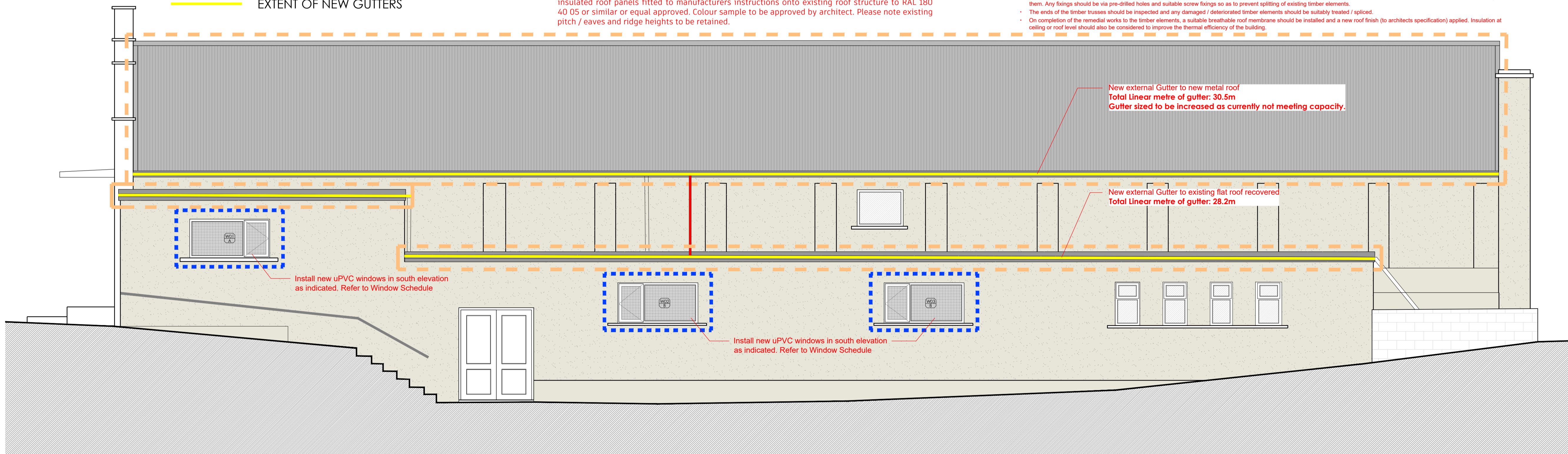
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SOUTH ELEVATION - SIDE
Scale 1:50

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DATE	REVISION

GENERAL NOTES

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PROJECT: FETHARD BALLROOM REFURBISHMENT
for FETHARD & KILLUSTY COMMUNITY
BALLROOM COMPANY LTD.

DRAWING: ELEVATIONS

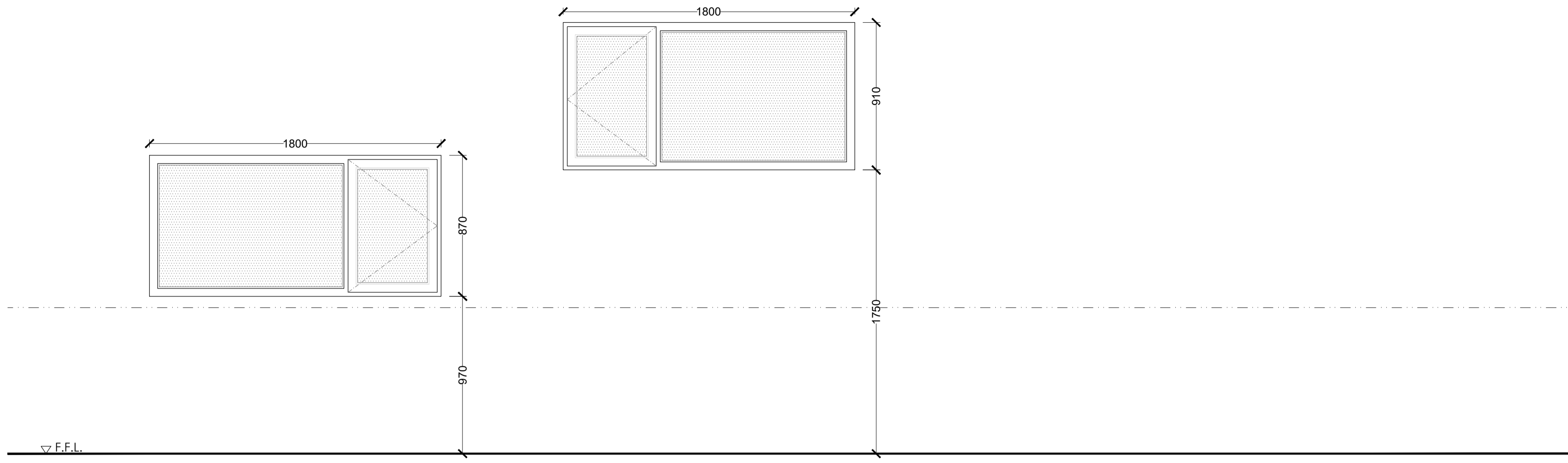
SCALE: 1/50

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)09

STATUS: TENDER DRAWING



WINDOW TYPE A
EXTERNAL

DESCRIPTION: uPVC unit, With 1 no. side hung opening casement and 1 no. fixed unit in selected colour

GLAZING: Low-E, Argon filled Double safety glazing

TOTAL NO: 1
LOCATION: W01

EXACT DIMENSIONS OF WINDOW OPES TO BE CONFIRMED ON SITE PRIOR TO ORDER BY CONTRACTOR/WINDOW MANUFACTURER

WINDOW TYPE B
EXTERNAL

DESCRIPTION: uPVC unit, With 1 no. side hung opening casement and 1 no. fixed unit in selected colour

GLAZING: Low-E, Argon filled Double safety glazing

TOTAL NO: 2
LOCATION: W02, W03

EXACT DIMENSIONS OF WINDOW OPES TO BE CONFIRMED ON SITE PRIOR TO ORDER BY CONTRACTOR/WINDOW MANUFACTURER

WINDOWS:
NOTES
1. Windows to have a U-Value of 1.6 W/m²K or better.
2. All new windows to be Munster Joinery Preslige range or similar approved.
3. All new doors, windows and rooflights dimensions to be verified on site by supplier prior to manufacture and installation.
4. All new windows swings to be verified on plans/elevations by contractor prior to manufacture.
5. All bedroom windows to have unlockable ironmongery and appropriate egress hinges for fire escape windows.
6. All Bathroom, WC and En suite windows to be glazed with Opaque Glass - Internal face of pane in double glazed unit to be sandblasted.
7. All glass below 800mm to be safety glass as required.
8. All new openable windows to have permanent permanent trickle vents incorporated into window frame.

PROTECTION OF COMPONENTS
Do not deliver to site components which cannot be put immediately into suitable dry, floored and covered storage. Stack on bearers, separated with spacers to prevent damage by and to projecting ironmongery, beads, etc.

PRIMING/SEALING
Before fixing components ensure that surfaces of timber which will be inaccessible after installation are primed or sealed as specified

BUILDING IN
This will not be permitted except where specifically stated on the drawings.

WINDOW INSTALLATION
Install windows into prepared openings, maintaining a maximum gap of 8mm between the frame edge and the surrounding construction.
Install windows without twist or diagonal racking.

SEALANT JOINTS
Silicone to be an approved polysulphide with colour to be approved. Prepare joints and apply sealant. Finish triangular fillets with a flat or slightly convex profile.

IRONMONGERY / ACCESSORIES
Sample to be provided for approval. Assemble and fix carefully and accurately using fasteners with matching finish supplied by ironmongery manufacturer. Prevent damage to ironmongery and adjacent surfaces. At completion check, adjust and lubricate as necessary to ensure correct functioning.

E	-/-/----	----
D	-/-/----	
C	-/-/----	
B	-/-/----	
A	-/-/----	

DATE	REVISION
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GENERAL NOTES
ALL DIMENSIONS TO BE CHECKED ON SITE.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS AND DRAWINGS.
IN THE EVENT OF ANY DISCREPANCIES BETWEEN DRAWINGS THE CONTRACTOR IS TO INFORM THE ARCHITECT IMMEDIATELY.
DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
ALL WORK TO COMPLY WITH CURRENT BUILDING REGS. & L.S.

STANDARD INSTRUCTIONS
1 THE MAIN CONTRACTOR, SUB-CONTRACTOR OR SUPPLIER SHALL:
VERIFY ALL DIMENSIONS ON SITE AND IMMEDIATELY REPORT TO THE ARCHITECT ANY DISCREPANCIES ON THE DRAWINGS.
WORK TO FIGURED DIMENSIONS ONLY (EXCEPT WHERE FULL SITE DETAILS ARE PROVIDED).
NOT VARY ANY WORK SHOWN ON THE DRAWINGS WITHOUT OBTAINING PRIOR APPROVAL FROM THE ARCHITECT.
BE RESPONSIBLE FOR REQUESTING FROM THE ARCHITECT ANY ADDITIONAL INFORMATION REQUIRED.
SUPPLY TO THE ARCHITECT ALL SHOP DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS, ETC., OF ALL SPECIALIST WORK TO BE INCORPORATED IN THE MAIN CONTRACT WORKS.
IMMEDIATELY INFORM THE ARCHITECT IF ANY WORK SHOWN ON THIS DRAWING IS NOT IN ACCORDANCE WITH THE RELEVANT CODES OF PRACTICE RECOGNISED GOOD PRACTICE THROUGHOUT THE INDUSTRY AND DOES NOT COMPLY WITH THE RELEVANT LOCAL AUTHORITY BY-LAWS OR BUILDING REGULATIONS.
IMMEDIATELY ADVISE THE ARCHITECT / QUANTITY SURVEYOR OF THE EFFECT UPON PROGRAMME AND COST OF ANY ALTERATIONS TO THE PROPOSED WORKS SHOWN ON THIS DRAWING.
2 THIS DRAWING SUPERSEDES ALL PREVIOUS ISSUES OF THE SAME DRAWING NUMBER WITH EARLIER REVISIONS.
3 THIS DRAWING IS COPYRIGHT TO KENNETH HENNESSY ARCHITECTS LTD. AND THE CONTENTS MUST NOT BE DISCLOSED TO ANYONE WITHOUT PRIOR AGREEMENT.

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PROJECT: FETHARD BALLROOM REFURBISHMENT
for FETHARD & KILLUSTY COMMUNITY BALLROOM COMPANY LTD.

DRAWING: WINDOW SCHEDULE

SCALE: 1/20

DRAWN: MB **CHECKED:** KH

DATE: 01/07/2019 **FIRST ISSUE:** 05/07/2019

DRAWING NUMBER:
1817(TD)10

STATUS: TENDER DRAWING